

EASTON PARK



Residential Development Guidelines

4A

Union Village
CONDOS

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I. GENERAL

1.1 Community Vision

Easton Park is designed to have the core elements of a “long-standing established neighborhood” with a playful modern twist. By carefully crafting each Section with a mixture of housing products and amenities, the neighborhoods in Easton Park are able to appeal to a wide range of users. While diversity and choice are celebrated in Easton Park, it is important for all residents to realize that their home is “one piece of a greater whole” and that the importance of placement, size, texture and color of each piece is what unites the community together.

1.2 Builder Responsibility

Builders are solely responsible and liable for ensuring that all construction and/or improvements meet or exceed all applicable codes, good building practices and comply with all local and federal regulations, laws, etc. Each builder is ultimately responsible to make sure every home is built to be in full compliance with these Guidelines.

1.3 Definitions

The following definitions are provided to ensure a mutual understanding of significant terms used in this document.

Applicant

Any Builder or other entity who or which has made or intends to make a submittal to the ARC.

Architectural Review Committee (ARC)

Referred to in the Master Covenants as the “Easton Park Reviewer”, the ARC is a special committee appointed by the Developer to review and approve all proposals made for improvements within Easton Park. The Architectural Review Committee (ARC) will administer these Guidelines.

Block

A specified collection of residential streets, Lots and reserves.

Corner Lot

A Lot bounded by street right of way or landscape reserve on at least two sides.

Developer

Brookfield Residential / Carma Easton LLC, and its successor or assigns.

Easement

The right of another party (e.g., a utility company, governmental authority, etc.) to use a portion of an individual property for a limited purpose, as set out in a Plat, the Covenants, or an Easement agreement recorded in the Travis County Real Property Records. The Easements established by the Covenants (the “Covenant Easements”) affect all Lots and provide a buffer zone between properties to minimize the impact of one Lot upon the other. They are set aside to provide utility service and drainage to the surrounding area, and natural vegetative screening and privacy separations between Lots. Many Lots in BB Living are also affected by Drainage Easements (D.E.), Storm Sewer Easements (S.S.E.), Sanitary Sewer Easements (S.E.), Public Utility Easements (P.U.E.), Joint Use Access Easement (J.U.A.E.), and Pathway Easement (P.E.).

Front Yard

(Reference Exhibits: “D2” – “D7”)

Interior Lot

A Lot which faces a public right of way only on the front and which has other residential Lots adjacent on both sides.

4A Union Village Condos Residential Development Guidelines (the “Guidelines”)

A document containing basic planning principals, general development program, the development review process and standards required for development within Union Village Condos (4A).

Landscaping

The combination of natural elements such as trees, shrubs, ground covers, vines, and other living organic and inorganic material.

Lot

A single parcel of land intended for residential use.

Lot Designation

All Lots in Union Village Condos (4A) will be designated as Condos.

Open Space Area

Area maintained by the HOA.

Owner

The Owner of record title to the fee interest in any tract of land, whether or not they reside on the tract.

Paseo

A promenade or public place for walking.

Plat

A map of land divisions within Union Village Condos (4A) that shows individual Lots, property lines, building setback lines, streets, certain Easements and other matters. Plats are legal documents recorded in the Real Property Records in the Travis County Clerk’s Office.

Property Survey

A scale drawing of an individual Lot showing all Easements, platted building lines, and the exact location of all structures and improvements within the Lot, prepared and certified by a surveyor or engineer.

Section

A specified collection of residential streets, Lots and reserves.

Sign

Any device, structure, fixture or placard using graphics, symbols and/or written copy of the primary purpose of identification or advertising any establishment, product, goods or services.

Single-Family Dwelling

A structure designed for the residential use of a single family.

Single-Family Lot

A Lot or tract of land upon which one or more Single-Family Dwellings has or will be built.

Right-of-Way (R.O.W.)

The Right-of-Way are the areas between platted Lot lines on one side of the street and platted Lot lines on the opposite side of the street, including the paved roadway, any median or cul-de-sac islands, the drainage ditch (if any) and a strip of land between the paved roadway and the platted Lot line. Right-of-Way are dedicated to the county or other public bodies for public access, drainage and utility purposes. Right-of-Way are usually shown on the Plat of a subdivision.

Village

Easton Park will be composed of multiple residential Villages. (e.g. BB Living, Kieke Park, Skyline Park, Union Park, etc.) Each Village is composed of a series of Sections.

II. DESIGN

2.1 Architectural Styles

The exterior architectural style shall be consistent with the character of the community and all elements of a home shall be architecturally compatible to a particular style as determined solely by the ARC on a case-by-case basis. The ARC retains the right to disapprove any elevation.

The architectural styles for Union Village Condos (4A) are:

- Contemporary + Modern
- Modern Farmhouse
- Modern Prairie
- Traditional/Colonial

An architectural character table describing the iconic features for each style along with example photos are provided in these Guidelines. This tables contains primary identifying characteristics for the specified style and recommendations on how each element can be included in the building design. The features and materials listed within these tables are not absolute. A home builder may include additional materials and elements as long as they are consistent with the desired architectural style.

(Reference Exhibits "A1" – "A4")

2.2 Plan Repetition

Plan repetition shall be as follows:

PLAN	ELEVATION	MIN. NUMBER OF LOTS IN BETWEEN OR ACROSS THE PASEO*
Same	Same	2
Same	Different	1

*If the Same Plan is across the Paseo, the first Lot across the paseo is considered the first of the required separation Lots.

(Reference Exhibits "E1")

2.3 Color & Material Repetition

- A. The use of diversified material pallets is strongly encouraged to avoid monotony of the street scene.
- B. The dominant colors (including paint, brick, stone, stucco, etc.) should have a minimum of three (3) Lots in between. If the Plan is across the paseo, the first Lot across the street is considered the first of the required separation Lots.
- C. A separation of at least six (6) buildings shall be maintained for buildings that share both the same elevation and a similar design palette.
- D. The builder is solely responsible for complying with the Design Palette Standards. The Developer, the ARC or its designee are NOT responsible for ensuring that colors and material use does not violate repetition requirements.

- E. The ARC reserves the right to deny an elevation that is primarily similar to the elevation of a nearby house.

2.4 Lot Designations

All Lots in Union Village Condos (4A) have the following **Lot Designation**:

- **Condo**

2.5 General Requirements – (All Homes)

Below are the general requirements for ALL homes in Union Village Condos (4A).

A. Wildland-Urban Interface Code (WUIC)

Builders are required to install vent screens for ember protection on applicable vents on all homes per the “Wildland-Urban Interface Code”, section § 504.10, available at www.AustinTexas.gov . Please note that this section § reference may change without notice and that it is the sole responsibility of the builder to ensure that the most current version of any and all codes are followed.

B. Lot Coverage

The total of all hard surfaces created during initial construction of the residence (including: building pad, garage, Driveway, Private Walkways, porches, patios, etc.) shall not exceed:

Eighty (80%) Percent Maximum

C. Lot Setbacks

(Reference Exhibits: “B1”)

D. Square Footage

ALL air-conditioned interior space shall be measured to the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco) and be included in the house square footage. Stairs and two-story spaces shall only be counted once.

The allowable square footage for all homes in Union Village Condos (4A) shall be:

LOT WIDTH	MINIMUM SQFT.	MAXIMUM SQFT.
30'	900	1,450
35'	900	1,900

E. Minimum House Width

The minimum width of a house shall be no less than ten (10') feet narrower than the applicable typical Lot width. See examples below.

TYPICAL LOT WIDTH	MINIMUM HOUSE WIDTH
30'	20'
35'	25'

F. Private Walkways

(1) General

A minimum of one (1) walkway must extend from the primary entrance of a home to a public pedestrian sidewalk.

(2) Private Walkway Width

Four (4') Feet

G. Driveways

(1) Driveway Responsibility/Construction

Builders are required to install the driveway out to the street using best professional practices, to include reinforcement of concrete and expansion joints.

(2) Driveway Materials

All driveways shall be standard-gray reinforced concrete.

(3) Driveway Widths – (2-Car Garage)

Driveways serving two (2) car garages shall be:

(a) Location

Centered on the garage door.

(b) Minimum Width

Sixteen (16') Feet

(c) Maximum Width – (At Garage)

May not extend more than twelve (12") inches beyond the side edge(s) of the garage.

H. Garages

(1) Each Condo shall have a garage capable of accommodating two (2) full-size automobiles.

(2) Garage doors shall not exceed eight (8') foot in height of typical home garages.

(3) All garage doors must be of equal height.

(4) All garage doors shall be a decorative panel metal or wood of an appropriate design for the home's architectural style. No particle board or fiberglass doors are permitted.

I. Carports

Carports are prohibited.

J. Roofs

(1) Roof Material

The roof material shall be appropriate to the home's architectural style. If composition shingles are used, they must be dimensional with a 30-year warranty. The use of 3-tab shingles is not permitted.

(2) Exposed Roof Penetrations

All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color. Roof and valley flashing shall be of a pre-finished or painted to match the roof color. Glossy finishes are prohibited.

(3) Skylights

Skylights and solar tubes are permitted, but shall be designed as an integral part of the roof. Framing materials shall be colored to blend in with the adjacent roof. White and/or “bubble” skylights are not permitted.

K. Chimneys

(1) If used, must be appropriate for the home’s architectural style.

(2) Exposed metal flues are not allowed. They may be used only when faced with the brick/ masonry or Hardie siding used on the house.

(3) Heights of chimneys shall meet all fire code requirements and be proportional to the roofline of the respective home.

(4) Direct vents located on exterior walls of the home must be painted with high-temperature paint which is the same color as the surface material they project out from.

(5) Spark arrestors and caps are required on all chimneys. The spark arrestor and cap shall be unadorned and designed to match or be compatible with the color, material and architectural style of the exterior elevations of the home. Caps shall be of metal or masonry construction. Spark arrestors may not exceed the height of the chimney cap. All chimney caps must be painted with a matte finish paint to coincide with the color scheme of the home.

L. Address Plaque

All homes must have an address plaque or numerals permanently affixed to both the front (porch) elevation of the home in a conspicuous location easily visible from the paseo and on the garage-side elevation, facing the alley. Logos of any kind are not permitted on address plaques.

M. Security Devices/Bars

(1) Security devices such as cameras, sirens and speaker boxes shall be the minimum size needed to be effective and shall be located in the least conspicuous location while allowing satisfactory performance.

(2) Security and/ or burglar bars on the exterior of homes are not permitted.

(3) If security devices are being considered for a home, the builder shall utilize a device which is minimally visible to public view and preferably mostly contained within the home.

(4) Cameras are to be located under the eaves of the home and the camera(s) or their field(s) of vision shall not be placed to be focused on any neighboring property.

(5) All cabling must be concealed.

N. Exterior Materials/Colors (“Design Palette Standards”)

The design palette of a residence directly impacts the street scene on which it is located. By having multiple palettes, it increases the visual diversity of the neighborhood while still providing harmony within the community and natural environment. The materials and colors of each design palette must complement the architectural style of the building.

The builder is solely responsible for complying with the Design Palette Standards. The Developer, the ARC or its designee are NOT responsible for ensuring that colors and material use does not violate repetition requirements.

The ARC reserves the right to reject any design palette that does not reinforce the architectural character or precedence of an architectural style.

The following standards shall apply to the design palettes utilized in the Union Village Condos (4A):

(1) Design Palettes

(a) Color & Materials Repetition

(Reference Section 2.3)

(b) Materials

All major proposed (primary and accent) cladding materials to be used on a single building.

(c) Color Schemes

The specific colors chosen to be grouped together on a single elevation.

(i) Any home offered on a repeating basis will be required to have minimum of five (5) exterior color schemes (building material may stay the same).

(ii) A minimum of three (3) distinct building colors (one (1) primary and two (2) accent) are required in each color scheme.

(iii) The primary color of a structure should be non-obtrusive.

(iv) Additional accent colors may be utilized depending on the detail and character of the home.

(v) All paint, stain, tile, and/or other colored materials must match or complement the color scheme and architectural style of the intended dwelling.

(vi) A variety of color schemes should be implemented to achieve a varied look in character to avoid a monochromatic appearance.

(d) Color Scheme Examples (by Architectural Style)

Complementary color schemes have been developed for each of the recommended architectural styles. These themes are suggestions based off of typical design elements and colors utilized within each style. They are not required to be used with the associated architectural style and can be applied to other architectural styles as appropriate.

(Reference Exhibits “A5” – “A6”)

If a home builder desires to create their own color scheme, they may generate an "Alternate Color Scheme" with the following features:

FEATURE COLOR	COLOR LOCATION
Body Color	The primary color for the overall exterior building material.
Trim Color	The color of trims at doors, windows, openings, eaves and any body accents.
Accent Color	Features such as doors, shutters, garage doors, etc.
Fascia Color*	The color of eaves, overhangs, and possibly wood stain.
Veneer Color*	The selection of stone or brick veneer.
Metal Color*	Features like iron work details, railings, gates, grilles, etc.
Precast Color*	Trims, surrounds or caps accents

*As needed for specific architectural styles utilizing these materials/details.

(e) Material Cladding of Foundation

No more than eighteen (18") inches (vertical dimension) of concrete foundation may be exposed to public view. If more than eighteen (18") inches of foundation is exposed, the exterior materials must be brought down over the face of the foundation or screened and maintained with evergreen shrubs to minimize the amount of exposed slab.

(2) Painting / Colors of Pipes, Vents & Functional Louvered Vents

All wall extrusions / penetrations, equipment attached to exterior walls or similar, including, but not limited to pipes (PVC, metal, etc.), wall vents, utility meters, exposed flashing, etc. must be the same color as the surface material they project out from or to which they are directly attached.

(3) Enhanced Cladding Materials

At a minimum, enhanced cladding materials shall be used on the front elevation and material returns on side elevations and may include masonry, stucco, wood shingles and metal, wood, vinyl or fiber cement siding applied authentic to the home's particular style of architecture.

(4) Wall Material Transitions

All transitions between materials shall occur at logical points in the elevation. Where there is a material transition from front elevation's primary material to another approved material on a side elevation, the front elevation's primary material is encouraged, but not required, to extend back at least five (5') feet or to a logical transition point, whichever is greater. The side-facing first-floor elevation of corner lots shall have, at a minimum, a continuous wainscot that runs the entire length of the street-facing side elevation and terminate at the front fence. Note that wainscot may continue past the front fence and around the entire home.

(5) Stone

Any and all stone utilized on the exterior of a home shall be earth tones.

(6) Masonry Mortar Joints

All mortar joints shall be tooled. Mortar colors if used, shall be selected to complement the brick or stone color. Caulking of vertical expansion joints and border joints must match mortar color.

(7) Siding

Traditional applications of siding are typically installed horizontally and include panels, traditional lap or Dutch lap with an exposed panel greater than four (4") inches. The use of particle board, or any sheet siding is prohibited.

(8) Trim

All trim shall be smooth/ semi-smooth, high-quality finish grade stock wood or fiber cement board.

(9) Windows

Window type/color/finish shall be complementary to the overall character of the home's design. Reflective, "mirrored" or tinted glass other than bronze or gray is not permitted. Materials in windows such as newspaper, aluminum foil, etc. are strictly prohibited.

(10) Awnings

Canvas awnings are prohibited.

O. Exterior Building Lighting

(1) Lights may not be mounted in a way or installed in locations which will allow them to shine onto or be a nuisance to neighboring properties. Any lighting on individual Lots shall be directed away from adjoining property. Light sources shall not conflict with the sight lines of pedestrians or motorists in a manner which endangers their safety and welfare.

(2) The ARC and/or HOA retain the right to require additional shielding, screening and or removal of lights and fixtures (at the current Owner's sole expense) which are deemed a nuisance at the sole discretion of the ARC and/or HOA.

(3) All light fixtures and their locations shall be submitted (clearly noted on the plans) to the ARC and Applicant must receive written approval from the ARC prior to installation.

(4) All exterior illumination shall be designed and located to encourage conformance to "Dark Sky" principles. "Dark Sky" principles include avoiding adverse impact of artificial light including sky glow, glare, light trespass, light clutter, decreased visibility at night, and energy waste.

(5) Exterior mounted lamp housings must shield lamp from view and the direct light.

(6) All exterior lighting, including LED lights must be of soft, warm white lighting and shall not exceed a light output of seventy-five (75) watts or equivalent. Decorative or lantern fixtures shall not exceed a light output of forty-five (45) watts or equivalent per fixture.

(7) Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable. Sodium, mercury vapor, or bare HID yard lights are prohibited.

(8) Conduits and wiring shall remain concealed from view of the neighboring Lots and all public views.

- (9) Each home will be required to have a minimum of one (1) front porch light fixture, either wall-mounted or recessed soffit lighting.
- (10) Each home will be required to have a minimum of one coach light next to the garage door.
- (11) Flood lights may not be mounted higher than the first-floor plate height and may not be located on the front (porch) elevation.
- (12) **Soffit/Eve-Mounted Accent Lights**
 - (a) **General**
Lights may not be mounted in a way or installed in locations which will allow them to shine onto or be a nuisance to neighboring properties.
 - (b) **Front (Porch) Elevation**
Recessed soffit/eve-mounted accent lights may be used on the first (1st) story and second (2nd) story of the front elevation.
 - (c) **Side & Garage-Side Elevation**
Recessed soffit/eve-mounted accent lights may only be used on the first (1st) story of side or garage elevations which do not face an adjacent residential Lot. (i.e., A side elevation which faces either a side street on Corner Lots or faces an Amenity is authorized. A garage-side elevation which faces an Amenity is authorized.)
 - (d) **If used, soffit/eve-mounted accent lights:**
 - (i) Must be fully recessed (the bulb and/or lens may not extend out of the can).
 - (ii) Lights must be angled straight down.
 - (iii) Lights may not exceed forty (40) watts or equivalent output.
 - (iv) One (1) light temperature must be used for all lights, which must be between 2700K and 3000K to produce soft warm white illumination.
 - (v) Lights must be static. Lights which flash or pulse are strictly prohibited.
 - (vi) Light cans and trim must match the color of the soffit/eve to which it is installed.
 - (vii) Lights may not be mounted in a way or installed in locations which will allow them to shine onto and/or be a nuisance to neighboring properties.

P. Antennas

- (1) Television antennas on roofs shall be avoided.
- (2) If placed outside, the antenna shall not encroach on neighboring private or public property.
- (3) Antennas, satellite dishes, and radio towers shall be located in the least conspicuous location while still allowing for satisfactory reception.

- (4) If multiple locations will provide satisfactory reception, the least conspicuous location must be used.
- (5) If the antenna is placed on the site, it is suggested that the smallest antenna possible be used to avoid attention.
- (6) The ARC reserves the right to require additional vegetation and/or fence screening, as determined on a case-by-case basis to minimize visibility to the public and/or neighboring properties.
- (7) Radio towers are prohibited.
- (8) All cabling shall be concealed.

2.6 Auxiliary Outdoor Features + Accents

A. Porches

- (1) Porches should be designed in conjunction with the active spaces of the dwelling to enhance their uses as livable outdoor rooms.
- (2) Porches should be fully covered in one of the following ways:
 - (a) Roof element and material matching the building's architectural style.
 - (b) Second floor balcony or overhang.
- (3) Porches must be substantial enough to provide a "livable outdoor" space, covered front entry ways will not be counted as a porch.
- (4) Porches on corner lots are required to wrap corner of home to the side elevation.

B. Balconies

Balconies shall be incorporated into the building's form to provide articulation and visual interest to large wall masses.

III. FENCING

3.1 General

This section outlines required fencing locations and types.

3.2 Fence Responsibility

Fencing as referred to in these Guidelines will be the responsibility of each builder as they develop Lots, unless otherwise designated as a Developer installed fence on the Section Fence & Driveway Layouts.

3.3 Fence Types & Requirements

A. General

- (1) It is the current property Owner's sole responsibility to ensure that any fence and/or gate be pool barrier compliant and be inspected and approved by an actively certified third-party inspector.
- (2) Fences are to be kept in good repair.

B. Metal Slat Fences

All fences shall be six (6') foot tall, metal slat, and shall be non-combustible and meet the City of Austin's WUIC requirement(s).

(Reference Exhibit: "C1")

3.4 Fence Locations

A. Fences Between Units

Fences shall be placed between the front (porch) and garage-side corners of the house and shall be located on logical positions of the side elevations to avoid any conflicts with windows, mechanical equipment or other architectural elements of the house.

B. Side Fences (End and Interior Lots)

Each Lot has a Side Yard which is determined by an exterior access door located on the side elevation of the home.

(Reference Exhibit: "C2")

3.5 Equipment Screening

A/C units or other equipment shall be fully screened from the paseo with a Vinyl Fence as referred to in section 3.3B and/or approved landscape.

3.6 Gates

Gates shall only be located on the garage-side of the fence.

IV. LANDSCAPE

4.1 Landscape Approach

All Landscaping on a residential Lot must be installed, in compliance with these Guidelines, by the builder prior to the Final Compliance Inspection and closing on the home.

4.2 Drainage

Drainage Texas law in conjunction with the Texas Water Code requires that the Owner ensure that the placement of any improvement or Landscaping does not halt or materially impede drainage flowing off of a neighboring tract and does not redirect the flow or significantly increase the amount of water flowing onto a neighboring tract. Enforcement of this requirement is by the affected property Owner(s). The drainage from each Lot should be directed to the street where possible. In instances where the rear area of a Lot is lower than the elevation of the street, a Lot-to-Lot drainage solution may be needed. In these situations, a Lot cannot block drainage from an adjacent Lot that naturally flows across that Lot on a path to a drainage swale, stream or outlet. Enforcement of this requirement is by the affected property Owner(s).

4.3 Irrigation

All areas/yards on a Lot which are landscaped with sod, planter beds, vegetation and/or trees shall be fully irrigated.

Care shall be taken to avoid irrigation spray and runoff on adjacent property and public sidewalks.

A. All irrigation systems shall be:

- (1) Designed and installed by a licensed irrigator in the state of Texas.
- (2) Be equipped with a backflow prevention device as mandated by appropriate local code.

B. Builders shall instruct the homeowners in the operation of the irrigation system.

4.4 Sod

A. Bermuda is required on all portions of the Lot, except where planter beds and aggregate are installed.

B. Sodding and Landscaping of areas not on a residential Lot will be installed by the Developer and mowed/maintained by the HOA.

4.5 Landscape Beds

A. Landscape beds are not permitted along the public sidewalk.

B. All planting beds shall be mulched with black or dark brown hardwood mulch or aggregate mulch. Other materials to be used in place of mulch will be submitted to the ARC for written approval prior to installation.

C. Aggregate mulch is allowed in bed areas and as a replacement for turf areas. If used, aggregate mulch beds must be installed with a weed barrier fabric and an approved edging border.

D. Aggregate mulch must have a minimum diameter of three-eighths (3/8") inch.

E. Minimum diameter for aggregate is increased to three-quarters (3/4") inch in areas where slopes exceed five (5%) percent.

4.6 Plant Bed Edging

- A. Planter bed edging is not required. If edging is installed, it must be complementary with the materials of the residence, such as stone.
- B. Steel, aluminum, concrete, or masonry edging is preferred.
- C. Brick borders, timbers, rubber and plastic bed edges are not permitted.
- D. Plant bed edging requirements are not limited to those listed in these Guidelines. Plant bed edging materials and construction design must be approved in writing by the ARC prior to installation.
- E. Bed edges at a minimum must be "V-Cut".

4.7 Plant Material

A list of appropriate planting material is available in the *“Approved Plant List”*. Other plant material may be utilized if approved in writing by the ARC. However, plants provided in the *“Approved Plant List”* are preferred and shall be the predominate plant material. Builders are encouraged to use a blend of plant materials and layouts to avoid monotony of the streetscape.

(Reference Exhibit: “D1”)

4.8 Installation

Careful consideration shall be taken when planting large trees and shrubs near the foundation and hard surface areas to avoid damage by the plant’s root system. Trees, shrubs and planter beds placement shall not halt or materially impede drainage flowing off of a neighboring tract and does not redirect the flow or significantly increase the amount of water flowing onto a neighboring tract.

Avoid planting trees and/or large shrubs in close proximity to the address plaque to maintain a clear view corridor from a majority of the street.

4.9 Maintenance

Each property Owner is required to mow their yards (including the Front Yard area between the front property line and the back of curb) and maintain all landscaped areas within their property.

4.10 Front Yard Landscape

The total Front Yard area shall be a maximum of fifty percent (50%) sod. The other fifty percent (50%) shall be landscape beds populated with the minimums shown in the table below.

FRONT YARD PLANT QUANTITY REQUIREMENTS					
Unit Type	TREES		HARDY SHRUBS		
	3" Caliper Shade Tree	Ornamental Shrub (15 Gallon)	5 Gallon	3 Gallon	1 Gallon
Interior Plan ‘A’	0	1	15	0	30
Interior Plan ‘B’	1	0	10	6	20
Corner Plan ‘C’	0	0	25	0	15

Shade Tree trunk caliper to be measured at two (2') feet above natural grade.

(Reference Exhibit: “D1” – “D7”)

4.11 Side Yard Landscape (Interior Side Yard)

Side Yards shall be aggregate, such as crushed granite.

4.12 Garage-Side/Alley Landscape

Any areas between the garage-side fence and alley shall contain aggregate, such as crushed granite.

4.13 HOA Landscape Maintained Areas

Permanent structures and/or elements placed within this easement, except for a private walkway connecting the public sidewalk to the primary entry of the dwelling, are strictly prohibited. Structures or elements, of any kind, placed in this area by the Builder or Owner shall be removed at the Owner's sole expense.

V. PROCEDURES & SUBMISSIONS (For builders during initial home construction.)

5.1 General

The builder is solely responsible and liable for following the requirements of these Guidelines regardless of whether detail(s) of items are noted/called out on reviews/documentation including, but not limited to plans, permits, applications and inspections.

5.2 Procedure

The review process begins when a Builder submits an online application including a set of plans, drawings, specifications and other required information to the ARC for processing. Submissions shall be made online at www.KenAnderson.com > [Residential](#) > [Easton Park](#).

5.3 Required Submission Information

The builder is required to submit the following information to be reviewed by the ARC.

A. Master Plans

In order to provide the shortest turnaround time for reviews the following shall be required. When submitting a Master Plan Application for review, builders shall submit:

- (1) Each elevation as a separate submission. (e.g. Elevation “A” should be a separate application/submission from Elevation “B”.)
- (2) Each Master Plan (elevation) must be submitted separately for each Section of BB Living that the builder intends to build that plan elevation.
- (3) Each Master Plan (elevation, such as elevation “A”) submission shall only include the plans, elevation, option(s), etc. sheets that pertain to that particular Master Plan (elevation).
- (4) Floor Plans
- (5) Electrical Plans (showing all exterior lighting)
- (6) Roof Plan
- (7) Material(s) location(s) clearly called out on plans.
- (8) Statement of House Square Footage
 - (a) Base square footage of the plan.
 - (b) Square footage of each option (if any) which adds livable square footage.
 - (c) Square footage will be measured as follows:
 - (i) To the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco).
 - (ii) Stairs and two-story spaces shall be counted only once.
 - (iii) Unfinished area, that can be easily converted for future use, will be included.
 - (iv) Exclude the following from square footage:
 - Garages, porches or other appendages.
 - A/C returns, pipe chases, fireplaces and non-structural voids.
 - Spaces with ceiling height of less than six (6') feet.

(9) Written approval from the ARC must be received before submitting for a Building Permit.

B. Building Permit

In order to provide the shortest turnaround time for reviews the following shall be required. When submitting a Building Permit Application for review, builders shall submit:

(1) Architectural Plans

Architectural Plans shall include the following:

- (a) Floor plans and (all applicable) exterior elevations for the elevation being submitted.
- (b) Electrical Plans (showing all exterior lighting)
- (c) Roof Plan
- (d) Material(s) location(s) clearly called out on plans.
- (e) Statement of House Square Footage. (Note that ALL air-conditioned interior space shall be measured to the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco) and be included in the house square footage.)

(2) Site Plan

Site Plan drawing including the following information:

- (a) Section Number, Block Number, Lot Number
- (b) Property Lines, R.O.W., minimum setbacks & Easements
- (c) Actual footprint of house and garage, with dimensions of main elements from property lines.
- (d) Driveway, patios, walls and any other flatwork, fully dimensioned
- (e) Locations of inlet(s)
- (f) Total percentage of coverage of all impervious cover including house, garage, walkways, driveway, patios, porches, etc.
- (g) Location, height, type and material of each exterior fence or wall.
- (h) If applicable, any temporary construction facilities such as trailers, storage locations, fences, temporary Signs, lights, model home parking lots, etc.

5.4 Quality of Submission Content

It is in the interest of both the Builders and the Developer that this process be a smooth and timely one. For that purpose, the approvals can be facilitated if complete and high-quality documentation is provided to the ARC. When an Application is received, it is reviewed for completeness. An Application that is not complete and/or not clearly readable will be returned (without review) with an explanation of the reasons for this action. A complete Application will be processed and reviewed by the ARC.

5.5 Submission Timing

Submissions to the ARC for approval may be made at any time. Responses will generally be made within seven (7) business days from receipt of a completed online application (including all correct information, applicable supporting and required documents in electronic format), however a lack of response after ten (10) business days shall be deemed a rejection.

5.6 Submission Fees

- A. Nominal fees have been established by the Developer to help defray the expenses associated with the community-based review of improvements and inspections. These fees are adjusted from time to time and are based on the complexity of the project proposed as well as other factors. Payment for all submission review and inspection fees shall be made payable to the address listed below and list of current fees can be obtained from:

Carma Easton, LLC
11501 Alterra Parkway, Suite 100
Austin, Texas 78758

- B. Builders shall make a single payment for all initial ARC reviews and inspections for each Lot at the time the builder closes on the Lot, which shall include:
- Builder Permit Review
 - Lot Ribbon Inspection
 - Final Compliance Inspection
- C. Builders shall make payment for Master Plan reviews at the time of submission.
- D. Builder shall make payment for any resubmission(s) and/or re-inspection(s) at the time of permit resubmission and/or re-inspection request.

5.7 ARC Action on Submittals

Notice of Approval, Conditional Approval or Disapproval of each submission will be returned to the Applicant via email or other electronic means which the ARC deems appropriate. Builder may request a Lot Ribbon Inspection immediately following receipt of written Final Building Permit Approval from the ARC. Approval by the ARC does not constitute an approval by any other entities.

5.8 Approval from Additional Entities

Applicant/Builder is solely responsible for obtaining all applicable written approvals from all applicable governing bodies, agencies, offices and/or entities. Approval by the ARC does not constitute an approval by any other entities.

5.9 Expiration of Permits

All approved or conditionally approved permits shall be exercised within one (1) year from the date of approval, or the permit shall be null and void.

5.10 Variances

Variances to these Guidelines may be granted by the ARC. Any variance granted will only be applicable to the specified site and conditions for which the variance was granted, only if it has been identified in writing on the submitted plan and specifically approved in writing by the ARC. Granting of such a variance will not modify or change any Guidelines as they apply to other Lots or conditions.

All variances shall be exercised within one (1) year from the date of approval or the variance shall be null and void. If an extension is needed, the Applicant/Builder must submit an application in writing, thirty (30) days prior to the expiration and for good cause, the ARC may grant an extension of time not to exceed one (1) year.

5.11 Construction Timeline

Construction of dwellings, which have received prior written approval or conditional approval by the ARC, shall commence within one (1) year of the permit date and shall be completed within one (1) year.

The ARC may grant an extension for construction on a case-by-case basis, but the request for an extension must be made at least thirty (30) business days prior to the conclusion of the completion deadlines noted above.

5.12 Inspection Procedures and Penalties

A. Lot Ribbon Inspection Procedures and Penalties (Including Builder Notice Signs)

A representative of the ARC must inspect the unimproved Lot, prior to any construction, to assess that the house and driveway layout and orientation have been properly ribboned (by the Builder's survey company) in conformance with the approved plans, permits and these Guidelines. The Builder is ultimately, solely responsible and solely liable for improvement of the Lot in conformance with the approved plans, permits and these Guidelines. No construction of any kind may be conducted without prior written approval from the ARC. Any improper and/or unauthorized construction on a Lot, at the Developer's sole discretion, may levy a two-hundred and fifty dollar (\$250) fine and twenty-five dollars (\$25) a day until construction ceases.

All Lots must have a Builder Notice Sign correctly displayed on the Lot from the time of the Lot Ribbon Inspection until final grading for Landscaping has started. At which time a permanent address plaque or numerals must be installed on the front elevation of the home.

Notice Signs are available, free of charge, at the Builder's Compound. For details please contact:

Brookfield Properties
On-Site Construction Manager

Information about the Notice Sign and how to correctly fill it out is available on the "Survey Ribboning & Builder Notice Sign before a Lot Ribbon Inspection" guide referenced below.

(Reference the online guide: "Survey Ribboning & Builder Notice Sign before a Lot Ribbon Inspection" available at www.KenAnderson.com > [Residential](#) > [Easton Park](#).)

B. Final Compliance Inspection Procedures, Penalties, and Variances

A representative of the ARC must inspect the improvements to verify that they have been constructed in conformance with the ARC approved plans and these Guidelines. The Final Compliance Inspection represents a selected portion of these Guidelines; it should not be considered as a total approval of these Guidelines. Inspections conducted by the ARC's assigned representative are aesthetically based only and in no way, include inspections pertaining to code compliance or to the integrity of the home and/or improvements. Builders are solely responsible and solely liable for ensuring that all construction and/or improvements meet or exceed all applicable codes, good building practices and comply with all local and federal regulations, laws, etc. Each builder is ultimately responsible to make sure every home is built to be in full compliance with these Guidelines.

This Final Compliance Inspection does not constitute review, inspection or approval by any other applicable governing bodies, agencies, offices and/or entities, which Applicant/Builder is solely responsible for obtaining.

(1) Request for Initial Final Compliance Inspection

Once a home is completed, each Builder is solely responsible for making a request to the ARC for a Final Compliance Inspection, using the online request services at www.KenAnderson.com > [Residential](#) > [Easton Park](#). Request for a Final Compliance Inspection must be made at least seven (7) days before the home closes.

A final survey (including all fences, pools and other installed improvements) must be submitted to the ARC at the time the Final Compliance Inspection request is made. Anyone who fails to meet the requirements will be subject to a two-hundred and fifty (\$250.00) dollar fine, which may be deducted from the Builder's construction deposit and/or damage deposit.

If the property does not pass its initial Final Compliance Inspection, the builder will have fourteen (14) days to correct all items listed on the Final Compliance Inspection report. It is the builder's sole responsibility to request a re-inspection once the necessary corrections have been completed otherwise a re-inspection will be conducted automatically after the fourteen (14) days have expired.

(2) 2nd Final Compliance Inspection (Re-Inspection)

If the property does not pass its 2nd Final Compliance Inspection, the builder will have fourteen (14) days to correct all items listed on the Final Compliance Inspection report. It is the builder's responsibility to request a re-inspection once the necessary corrections have been completed otherwise a re-inspection will be conducted automatically after the fourteen (14) days have expired.

If home is closed prior to re-inspection and the inspector needs access to areas of the property behind the front fence, the builder must acquire written approval from homeowner to allow ARC representative to access the exterior property to conduct inspection.

(3) 3rd Final Compliance Inspection (Re-Inspection)

The property will be inspected one (1) final time. If all outstanding items have not been corrected, the following may occur:

- (a)** The builder will be issued a Final Compliance Inspection verdict of "Closed Non-Compliant" and a copy will be sent to the HOA.
- (b)** All New Construction Submittals/Building Permits (starts) may be put on hold company-wide until all outstanding inspection items are brought into compliance.
- (c)** Responsibility for bringing all outstanding items into compliance will transferred from the builder to the Homeowner and resolution may be enforced through the HOA as a request to comply with these Guidelines.
- (d)** When necessary, the HOA will inform the Homeowners that the home was inspected multiple times to allow the builder to bring the outstanding items into compliance, and that it was the Builders sole responsibility to make sure that all construction requirements were met before the home closed.

5.13 Remedies

Additional remedies and enforcement rights may exist under the Covenants. The ARC and/or HOA may file suit to obtain an injunction mandating compliance with the Covenants and the Guidelines. The ARC and/or HOA has the further right, after proper notice to the Owner, to go onto the property where a violation exists, fix or remove the violation, and collect any costs incurred from the Owner.

5.14 Changes in Review Process

The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while reasonably accommodating the needs of Applicants/Builders.

5.15 Governmental Regulations

The Covenants and these Guidelines are not intended to permit any action prohibited by applicable laws, rules, or regulations of any governmental authority. Where these Guidelines contain requirements in addition to or more restrictive than applicable governmental laws or regulations, the provisions of these Guidelines are binding and enforceable, and prevail over the requirements of such laws or regulations unless these Guidelines are expressly made unenforceable by law or judicial decisions.

5.16 Job Site Procedures

A. Trash Containment

All Lots under construction are required to have two (2) forms of trash receptacles on each lot ("Type A" & "Type B"). They must be kept on site and maintained during the construction process.

(1) Type A

Refers to a trash bin that will be used to contain trash material that will most likely be wind-blown from the construction of the home. This material includes, but is not limited to shingles, insulation, a/c ducts, and mortar bags. Material such as interior trim and tile will also be placed in this trash bin.

The three (3) sided trash bin will have an eight by eight (8' x 8') footprint and be made up of four foot by eight foot (4' x 8') (natural or black painted) solid wood material panels. The open side must always face the front of the house, away from the street. On Corner Lots this trash bin must be four (4) sided.

Heavy material such as lumber and brick should be placed in a single pile on the Lot under construction. Any additional small debris left over after trash pick-up should be placed in a trash bin. No random material should be left out around the house.

(2) Type B

Refers to a trash bin that will be used to contain trash from labor and trade personnel working on the job site (plates, cans, food trash, etc.). This trash bin will be a fifty-gallon (50) plastic drum or similar product that functions in the same capacity. Daily clean up food trash is required in order to reduce the amount of trash that is blown into the streets and neighborhood.

Each builder is solely responsible for enforcing the daily clean-up of food trash and making sure that all construction trash around the house is contained.

B. Concrete Washout

All concrete washouts shall be either wood formed and lined with tarp or Eco Pan (or Eco Pan equivalent) on a Lot which the Builder owns. Additionally, concrete washouts should be located (whenever possible) on Lots which have low traffic and/or visibility to the general public. Concrete washouts shall not be located on Corner Lots and shall have an erosion barrier installed and maintained solely by the Builder at all times. A Builder Notice Sign is required on Lots with concrete washouts. Each builder is solely responsible to ensure that all washout construction shall comply with TCEQ and EPA requirements.

C. Silt/Mud in Street

Each builder is solely responsible for ensuring that every Lot under construction has a silt fence installed along the entire street facing portion of the Lot and have at least two (2') foot returns at termination points. One (1), sixteen (16') foot maximum width access point may be utilized (generally the future driveway location), which must employ a proper erosion barrier, such as: rip-rap, wood chips, etc.

Unacceptable erosion barriers at access points include, but are not limited to: Curlex, sod, sandbags and back-cutting the dirt directly behind the curb.

All erosion barriers must be maintained and any silt or mud that develops must be removed immediately whenever possible and no later than the end of construction hours for that day.

Each builder is also solely responsible for repairing any silt fence that is damaged on an adjacent Lot during construction. This also includes the removal of any dirt or mud that accumulates in the street from access to a home under construction via an adjacent Lot.

Erosion barriers must meet or exceed minimum requirements of all applicable governing bodies, agencies, offices and/or entities.

D. Damage to Common Areas and/or Cul-de-Sac Island(s)

The builder is solely responsible for any damages incurred on the common areas and or cul-de-sacs sustained by the builder and/or their subcontractors or delivery trucks. This includes, but is not limited to ruts, planting damage, curb damage and/or irrigation damage. The builder will either be asked to replace or repair the damaged material or be billed for any damages.

E. Lot Mowing

Each builder is solely responsible for ensuring that the Lots they own are maintained and mowed on at least a monthly basis or as necessary as determined by the ARC and/or the Developer.

VI. Exhibits & Diagrams

All exhibits & diagrams will be found on the pages that follow.



Contemporary house design integrates a wide number of style features. It melds historic elements with current lifestyle concepts, resulting in homes that are warm, inviting and connected with the outdoors.

Key features of a contemporary house design include irregular or asymmetrical facade, strong geometric shapes, extensive use of natural light, open floor plan to embrace outdoor space, clerestory windows, and varies from one to two stories.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	One and two story massing.
Roofs	Multiple low roof lines at different levels, wide overhangs, metal roofs.
Porches	Porch entry area with warm wood tones, flat roof and natural light above it, steel tubular columns, V-groove siding at ceiling.
Chimneys	Design compatible with house design.
Windows	Fixed, casement or awning windows with integrated window overhangs, clerestory windows following the roof lines.
Entry Doors	Solid glass or contemporary entry door.
Garage Doors	Garage door with geometric paned glass panels.
Details	Contrasting exterior colors (light stone with dark roof or vice versa).
Materials	Mixture of stone (clean cut) and stucco with wood accents, metal siding accents.
Colors	Reference "Color Scheme Examples" Exhibit(s).
Other	Use of parapet walls and asymmetrical design/metal, indoor/outdoor living at back porch.



The modern farmhouse is a contemporary play on a traditional design. It evokes a nostalgic feeling of warmth and comfort of days-past by reshaping it with clean lines and simple materials for a fresh design.

Homes are typically one and two story dwellings with distinct elements such as oversized openings, light walls, gabled roofs and large porches and patios.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	One and two story massing.
Roofs	Sheet metal roof, exposed rafter tails, street/side facing gable, shed or gable dormers, gables.
Porches	Front porch wraps around to side for veranda view, designed to allow for indoor/outdoor living, V-groove siding at porch ceiling, open truss at porch entry area.
Chimneys	Design compatible with house design.
Windows	Large, minimal 1-2 panes per sash or fixed window, integrated window overhangs (complimentary to roof design), metal awnings with metal brackets.
Entry Doors	Double or wider door with multi-paned glass accents on each door.
Garage Doors	Glass panel (frosted or opaque) accents in garage door.
Details	Clean, simple lines and shapes.
Materials	Vertical siding on all sides, horizontal siding as accents to add balance, metal or stone accents.
Colors	Reference "Color Scheme Examples" Exhibit(s).
Other	Columns generally square, simply detailed, flat roof/arbor at covered patio at rear, raised plate heights at front elevation with single story flat porch/transoms above porch roof area.



The Prairie house plan is a uniquely American architectural style. Massive square or rectangular piers of masonry used to support porch roofs are an almost universal feature of high-style examples.

Other common details include window boxes or flattened pedestal urns for flowers, geometric patterns of small-pane window glazing, broad, flat chimneys, contrasting wall materials or trim emphasizing the upper part of the upper story, and decorative friezes or door surrounds consisting of bands of ornamentation.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	Solid Construction, one- and two-story massing, one-story projections. Building form is linear and low.
Roofs	Flat or hipped roofs with broad eaves.
Porches	Broad covered porches with square columns, sometimes with brick or stone bases.
Chimneys	Natural or dressed stone exposed, central chimney.
Windows	Windows assembled in horizontal bands, often with well-defined vertical detail subtly mimicking Japanese shoji screens.
Entry Doors	Hinged double doors, solid wood as well as glass, lights on sides of doors.
Garage Doors	Natural wood. solid, contemporary horizontal windows, all glass.
Details	Restraint in the use of decoration, broad overhanging eaves, symmetrical with subordinate wings or porches, floral and circular geometric forms and angular geometric designs, exposed rafters.
Materials	Strong horizontally-oriented facades.
Colors	Reference "Color Scheme Examples" Exhibit(s).
Other	Usually marked by its integration with the surrounding landscape.



Colonial-style homes are generally symmetrical or square, with steep roofs and feature an centralized front door with a formal entry or porch.

The style also features two windows on either side of the entry door. Greek or Roman style columns are typically a prominent featured on the entry porch and windows are symmetrically placed on both sides of the front door.

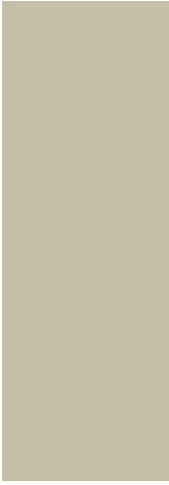
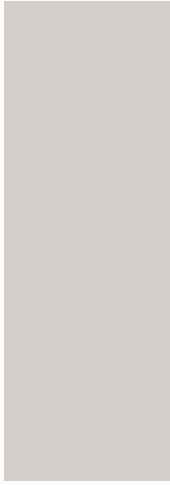
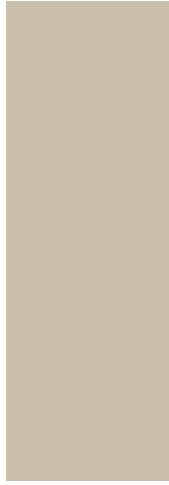
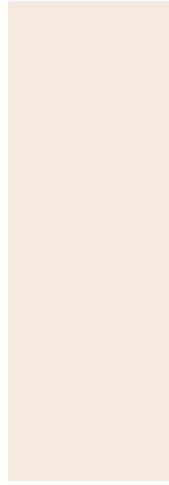

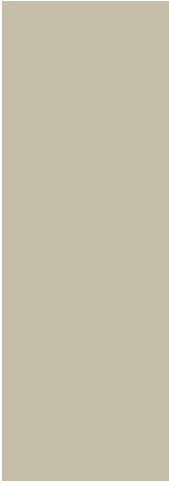
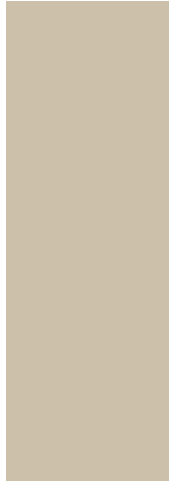
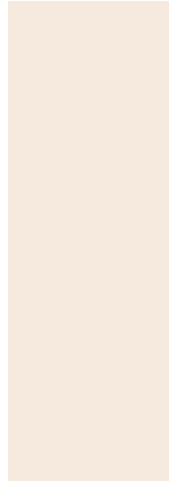
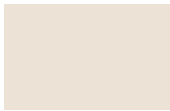






Windows are usually accompanied with proportional shutters (*each shutter covers half of the window*) and are double-hung with multi-pane sashes.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	One and two story massing. Gable front and wings.
Roofs	Side-gabled roof, hipped roof, centered gable, asymmetrical, hipped roof with full-width porch.
Porches	Four columns is most common, even spacing.
Chimneys	Natural or dressed stone exposed, central chimney.
Windows	Palladian-style window in the second story over the main entrance; the use of flat or keystone lintels above the windows with prominent sills below. Elliptical, half-circular, or Palladian windows are sometimes used on side or front gables; dormers typically have arched windows. Double hung sash windows placed singly but in symmetrical rows. Fixed upper sashes and movable lower sashes. Sometimes have elaborate decorative crowns placed above windows. Rectangular windows are common.
Entry Doors	Accentuated front door which often includes an entry porch. Decorative detailing on door surrounds. Fanlight above entry door. Door surrounds. Bold front door color..
Garage Doors	Garages facing the street deaden the public space; rear garages accessed from the alley or a front drive are ideal.
Details	Roof-line balustrades. Front stair rails of iron. Iron balconies and curved front bays. Decorative detailing around entry porch, over windows, along the cornice. Cornices. Shutters.
Materials	Horizontal hardi-siding and brick accents, shingles. Stucco and stone occur infrequently.
Colors	Reference "Color Scheme Examples" Exhibit(s).
Other	Greek or Roman columns.

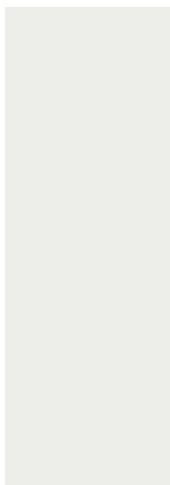
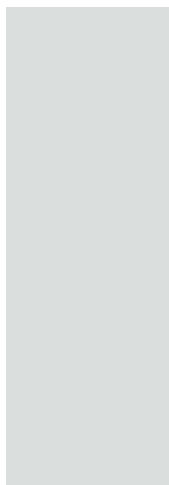




Modern / Contemporary - Color Palette



					
BODY					
TRIM					
ACCENT					

Modern Farmhouse - Color Palette



					
BODY					
TRIM					
ACCENT					

Modern Prairie - Color Palette



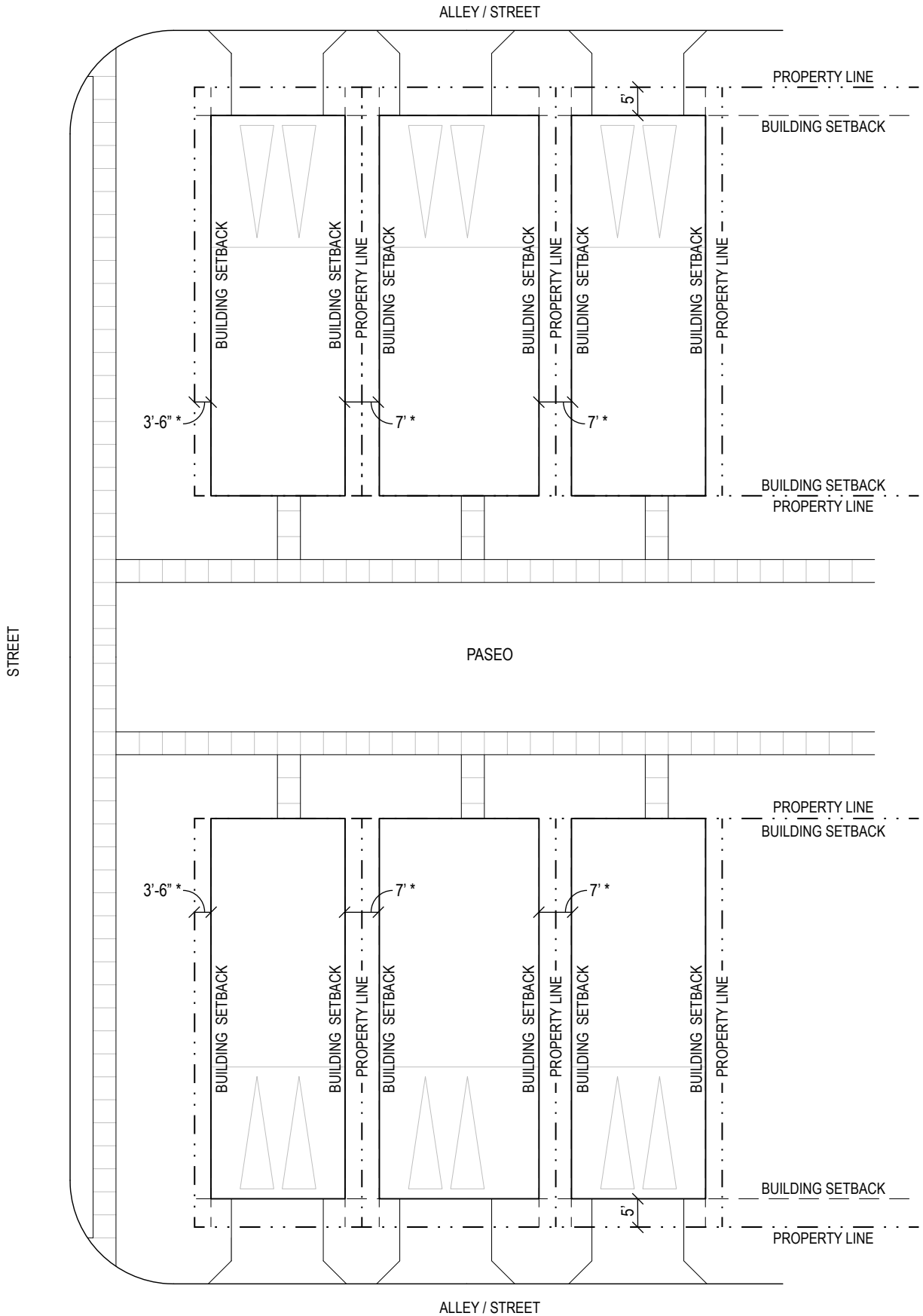
BODY					
TRIM					
ACCENT					

Traditional / Colonial - Color Palette



BODY					
TRIM					
ACCENT					

SETBACKS - TYPICAL
SCALE: NTS

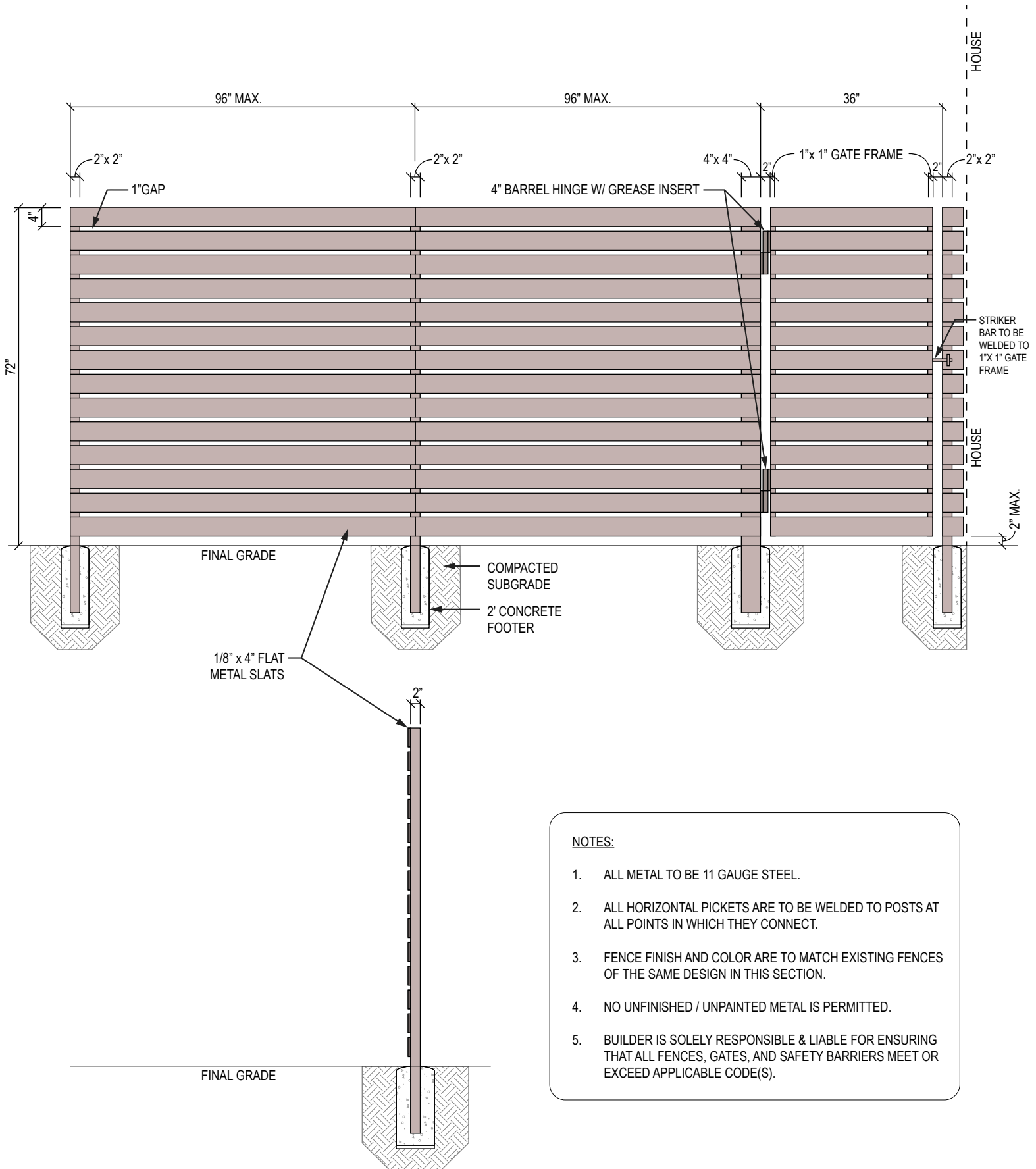


*A HOUSE MAY BE SHIFTED TO THE INTERIOR PROPERTY LINE (MAKING IT A ZERO LOT LINE) IF THE ADJACENT HOUSES MAINTAIN A MINIMUM OF SEVEN (7') FEET OF SEPARATION BETWEEN THEM.

FENCE DETAIL: 6' METAL SLAT

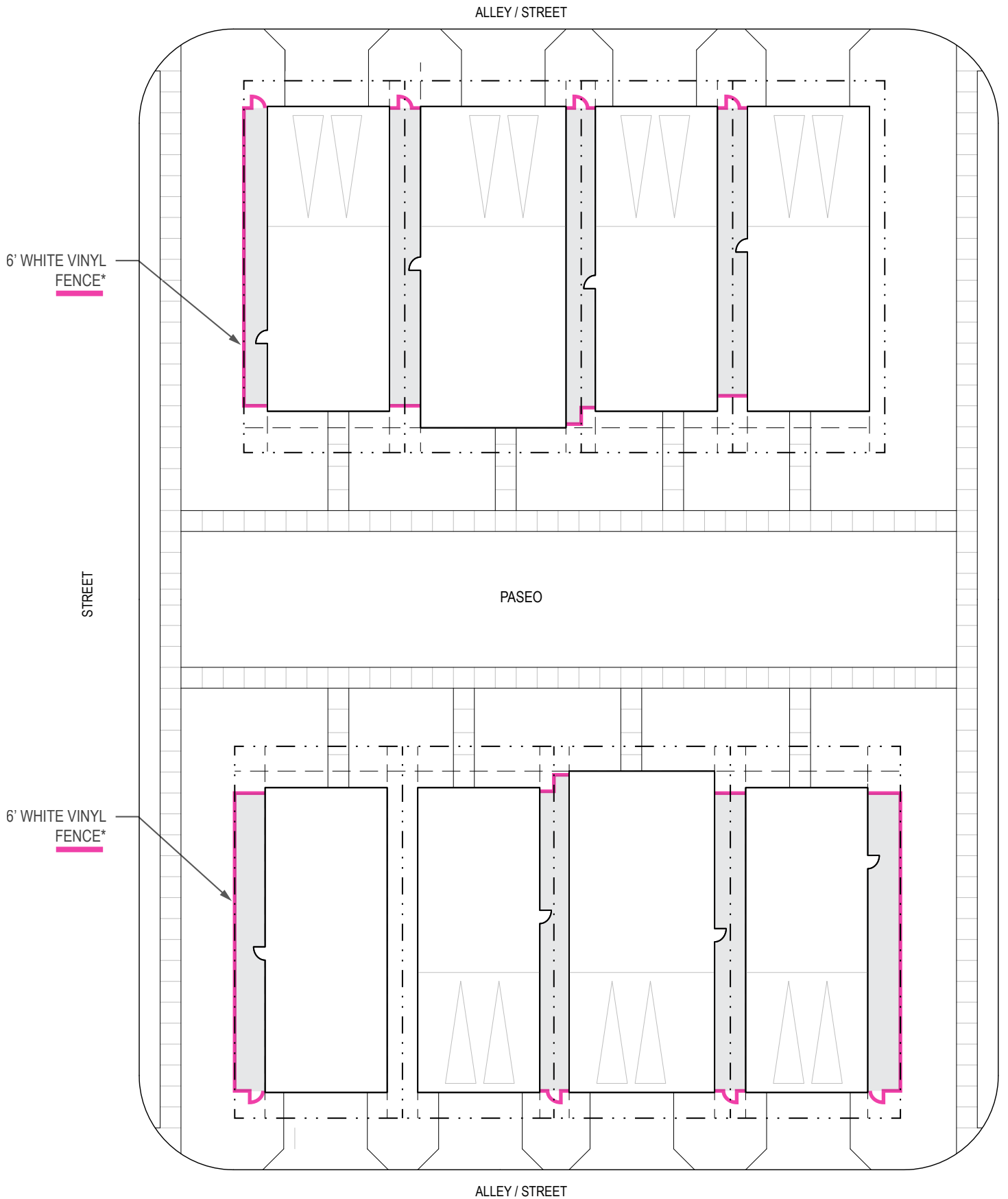
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C1



NOTES:

1. ALL METAL TO BE 11 GAUGE STEEL.
2. ALL HORIZONTAL PICKETS ARE TO BE WELDED TO POSTS AT ALL POINTS IN WHICH THEY CONNECT.
3. FENCE FINISH AND COLOR ARE TO MATCH EXISTING FENCES OF THE SAME DESIGN IN THIS SECTION.
4. NO UNFINISHED / UNPAINTED METAL IS PERMITTED.
5. BUILDER IS SOLELY RESPONSIBLE & LIABLE FOR ENSURING THAT ALL FENCES, GATES, AND SAFETY BARRIERS MEET OR EXCEED APPLICABLE CODE(S).



(*SEE FENCE DETAIL EXHIBITS "C1".)

TREES:

COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
MONTEREY OAK (MEXICAN WHITE OAK)	QUERCUS POLYMORPHA	3" CAL; MIN. 10' HT.; MIN. 5' SPRD.	SINGLE TRUNK; STRAIGHT CENTRAL LEADER; FULL, UNIFORM CANOPY; CONTAINER GROWN
SHUMARD OAK	QUERCUS SHUMARDII	3" CAL; MIN. 10' HT.; MIN. 5' SPRD.	SINGLE TRUNK; STRAIGHT LEADER; FULL, UNIFORM CANOPY; CONTAINER GROWN
CEDAR ELM	ULMUS CRASSIFOLIA	3" CAL; MIN. 10' HT.; MIN. 5' SPRD.	SINGLE TRUNK; STRAIGHT LEADER; FULL, UNIFORM CANOPY; CONTAINER GROWN

SHRUBS AND GROUND COVER:

COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
PARRY'S AGAVE	AGAVE PARRYI	5 GAL; 12" HT; 12" SPRD.	PLANT 24" O.C.
BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	3 GAL; 12: HT 12" SPRD.	PLANT 18" O.C.
BICOLOR IRIS	DIETES BICOLOR	5 GAL; 24" HT; 24" SPRD.	PLANT 42" O.C.
PINEAPPLE GUAVA	FEIJOA SELLOWIANA	5 GAL; 24" HT; 24" SPRD.	PLANT 42" O.C.
THRYALLIS	GALPHIMIA GLAUCA	5 GAL; 24" HT; 24" SPRD.	PLANT 42" O.C.
RED YUCCA	HESPERALOE PARVIFLORA	5 GAL; 24: HT 24" SPRD.	PLANT 30" O.C.
TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GAL; 24" HT; 24" SPRD.	PLANT 42" O.C.
LINDHEIMER MUHLY	MUHLENBERGIA LINDHEIMERI	5 GAL.; 18" MIN. HT.; 18" MIN. SPRD.	PLANT 36" O.C.
DWARF WAXMYRTLE	MYRICA PUSILLA	5 GAL; 18" HT; 18" SPRD.	PLANT 36" O.C.
JERUSALEM SAGE	PHLOMIS FRUTICOSA	3 GAL; 15" HT; 15" SPRD.	PLANT 30" O.C.
STANDING OVATION LITTLE BLUESTEM	SCHIZACHRYIUM SCOPARIUM 'STANDING OVATION'	5 GAL; 24" HT; 12" SPRD.	PLANT 18" O.C.
BUSH GERMANDER	TEUCRIUM FRUTICANS	5 GAL; 24" HT; 24" SPRD.	PLANT 42" O.C.
PALEAF YUCCA	YUCCA PALLIDA	5 GAL; 12" HT; 12" SPRD.	PLANT 24" O.C.
SOFTLEAF YUCCA	YUCCA RECURVIFOLIA	5 GAL; 24" HT; 24" SPRD.	PLANT 36" O.C.
PURPLE TRAILING LANTANA	LANTANA MONTEVIDENSIS	1 GAL.; 6" HT; 12" SPRD.	PLANT 18" O.C.
NEW GOLD LANTANA	LANTANA X HYBRIDA 'NEW GOLD'	5 GAL.; 12" HT; 12" SPRD.	PLANT 24" O.C.
BLACKFOOT DAISY	MELAMPODIUM LEUCANTHUM	1 GAL.; 6" HT; 6" SPRD.	PLANT 12" O.C.
FIRECRACKER FERN	RUSSELLIA EQUISETIFORMIS	5 GAL.; 18" HT; 18" SPRD.	PLANT 30" O.C.
WHITE AUTUMN SAGE	SALVIA GREGGII 'ALBA'	3 GAL.; 18" HT; 18" SPRD.	PLANT 24" O.C.
WOOLY STEMODIA	STEMODIA LANATA (STEMODIA TOMENTOSA)	1 GAL.; 6" HT; 12" SPRD.	PLANT 18" O.C.
PINK SKULLCAP	SCUTELLARIA SUFFRUTESCENS	1 GAL.; 6" HT; 10" SPRD.	PLANT 12" O.C.



Thryallis
Galphimia glauca
Semi-evergreen, yellow blooms
Ht: 3'-6'



Trailing lantana
Lantana montevidensis
Purple blooms
Ht: 8"-16"



Texas Persimmon
Diospyros texana
Edible fruit
Ht: 8'-12'



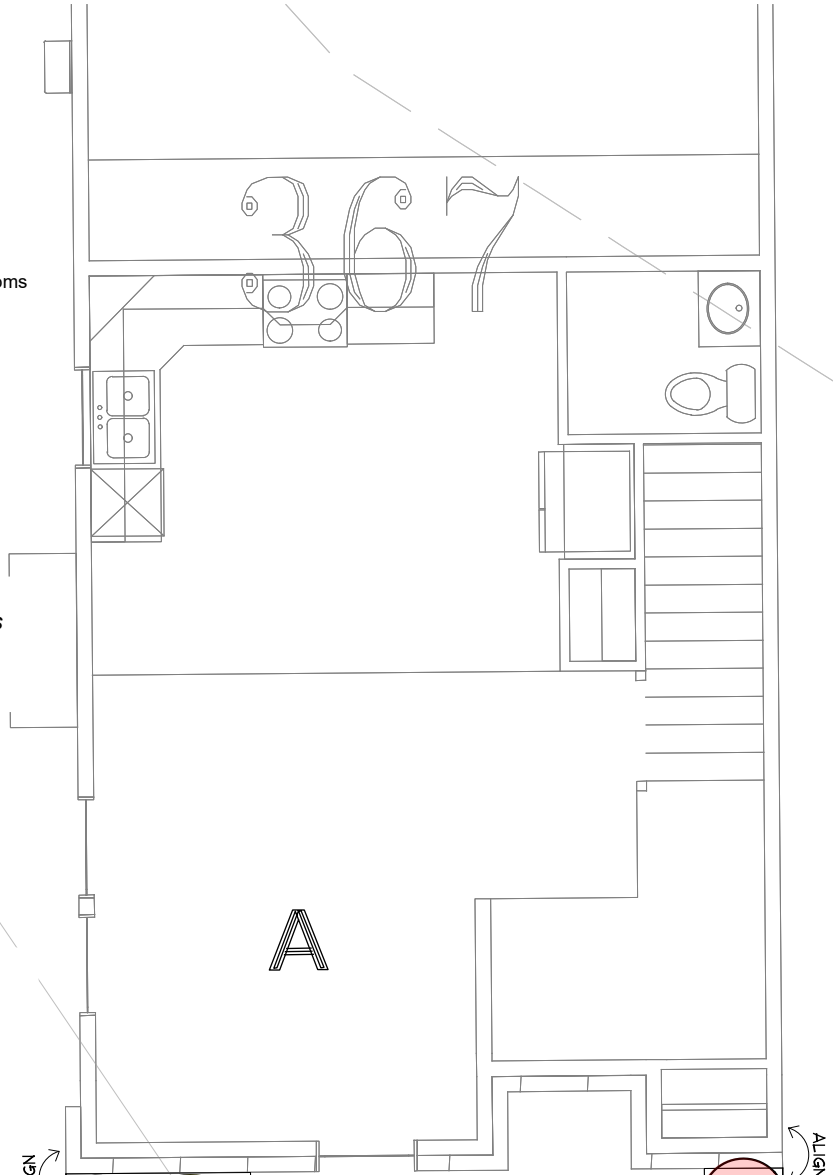
Red Yucca
Hesperaloe parviflora
Evergreen, red bloom
Ht: 2'-4'



Lindheimer Muhly
Muhlenbergia lindheimeria
Semi-evergreen, screening
Ht: 2'-5'



Woolly Stemodia
Stemodia lanata
Small lavender blooms, groundcover
Ht: 6"-12"



(5) LINDHEIMER MUHLY
(1) THRYALLIS
TRAILING LANTANA
(REFER TO PLANT LIST FOR SPACING)

(3) RED YUCCA
(5) LINDHEIMER MUHLY

WOOLLY STEMODIA
(REFER TO PLANT LIST FOR SPACING)

(1) ORNAMENTAL TREE, AS REQUIRED BY PERMIT. REFER TO PERMIT DRAWINGS FOR SPECIES.



Lindheimer Muhly
Muhlenbergia lindheimeria
Semi-evergreen, screening
Ht: 2'-5'



Paleleaf Yucca
Yucca pallida
Pale green succulent
Ht: 1'-2'



Pink Skullcap
Scutellaria suffrutescens
Evergreen, pink blooms
Ht: 1'-2'



Bicolor Iris
Diets bicolor
Yellow / white blooms
Ht: 2'-3'



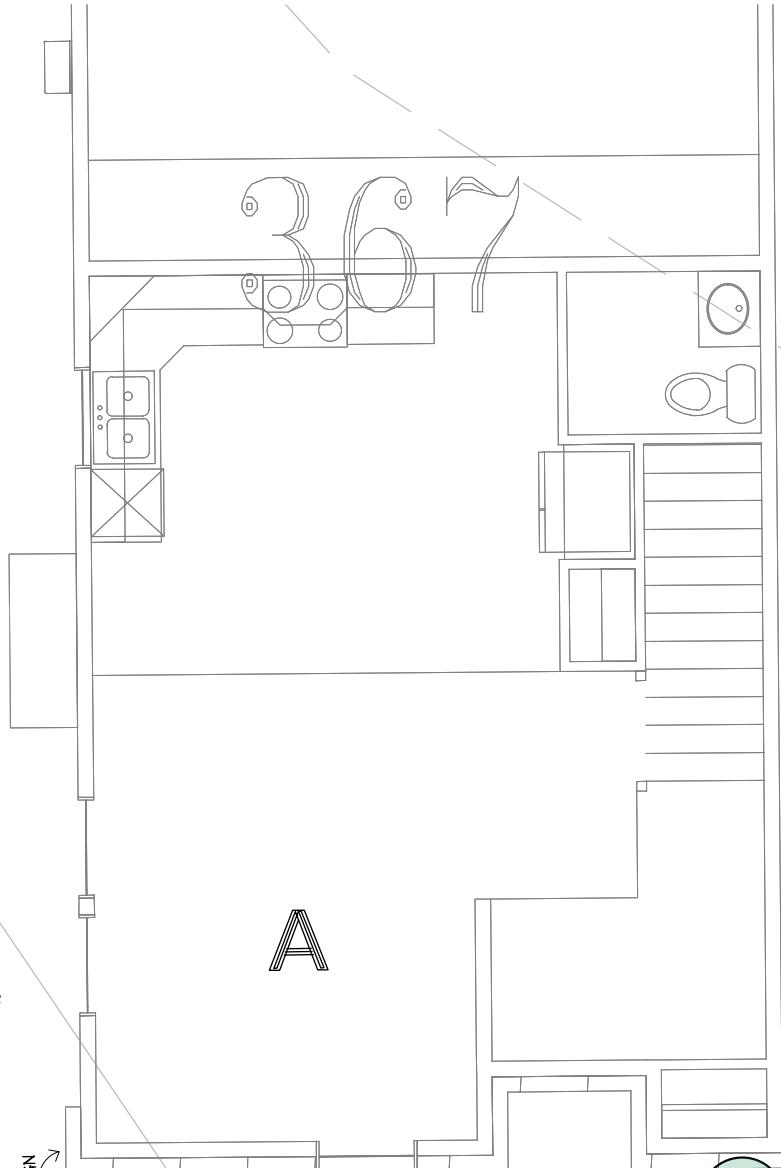
Blue Grama (Blonde Ambition)
Phlomis fruticosa
Semi-evergreen
Ht: 2.5'-3'



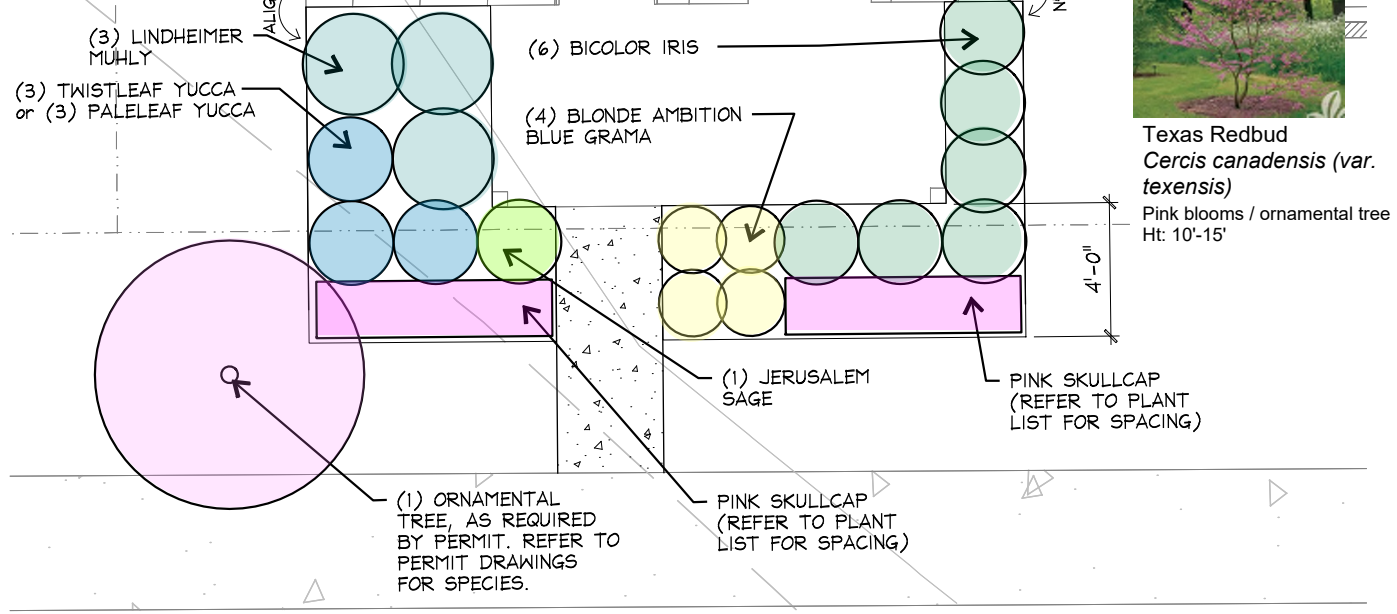
Jerusalem Sage
Phlomis fruticosa
Yellow blooms
Ht: 2'-4'

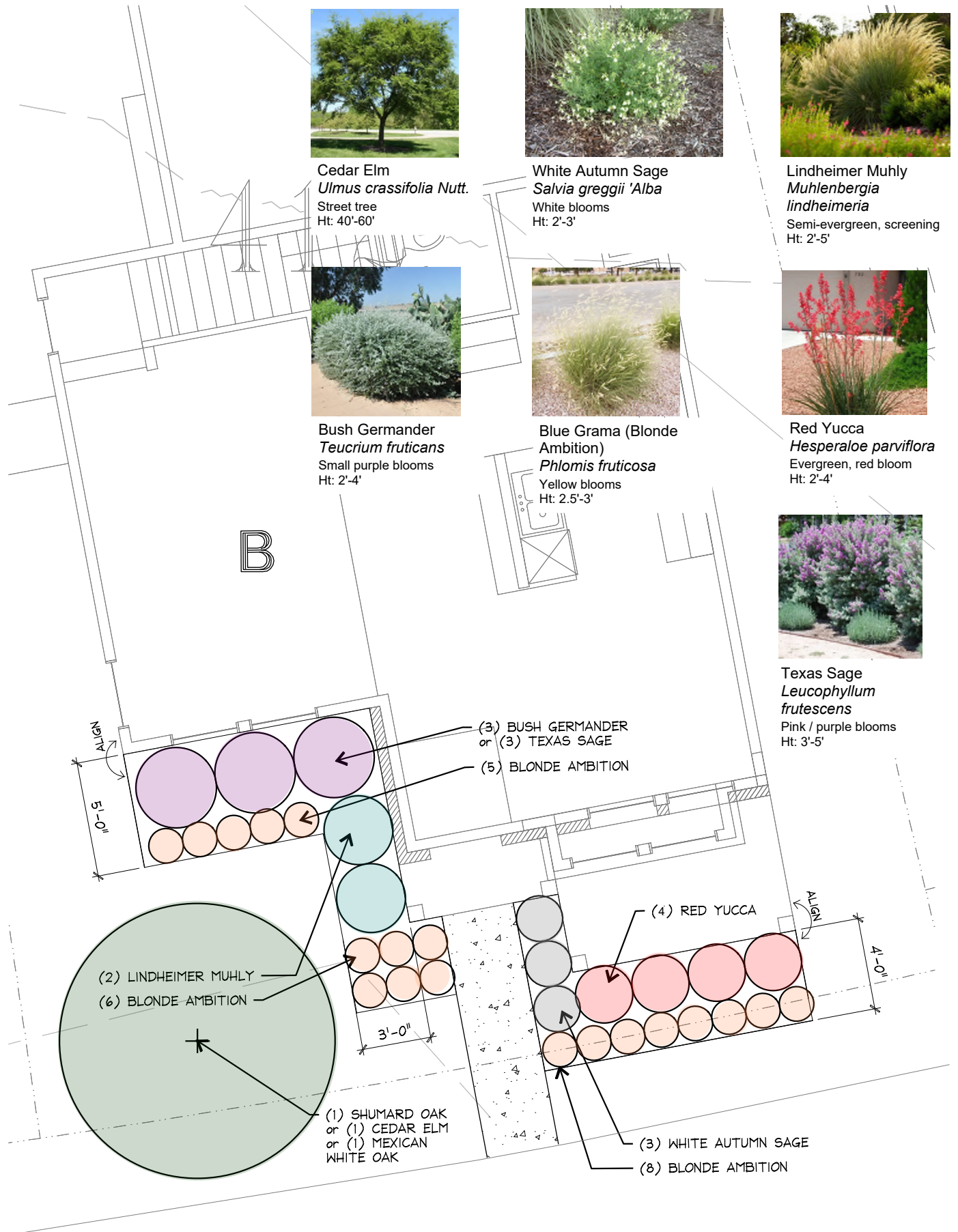


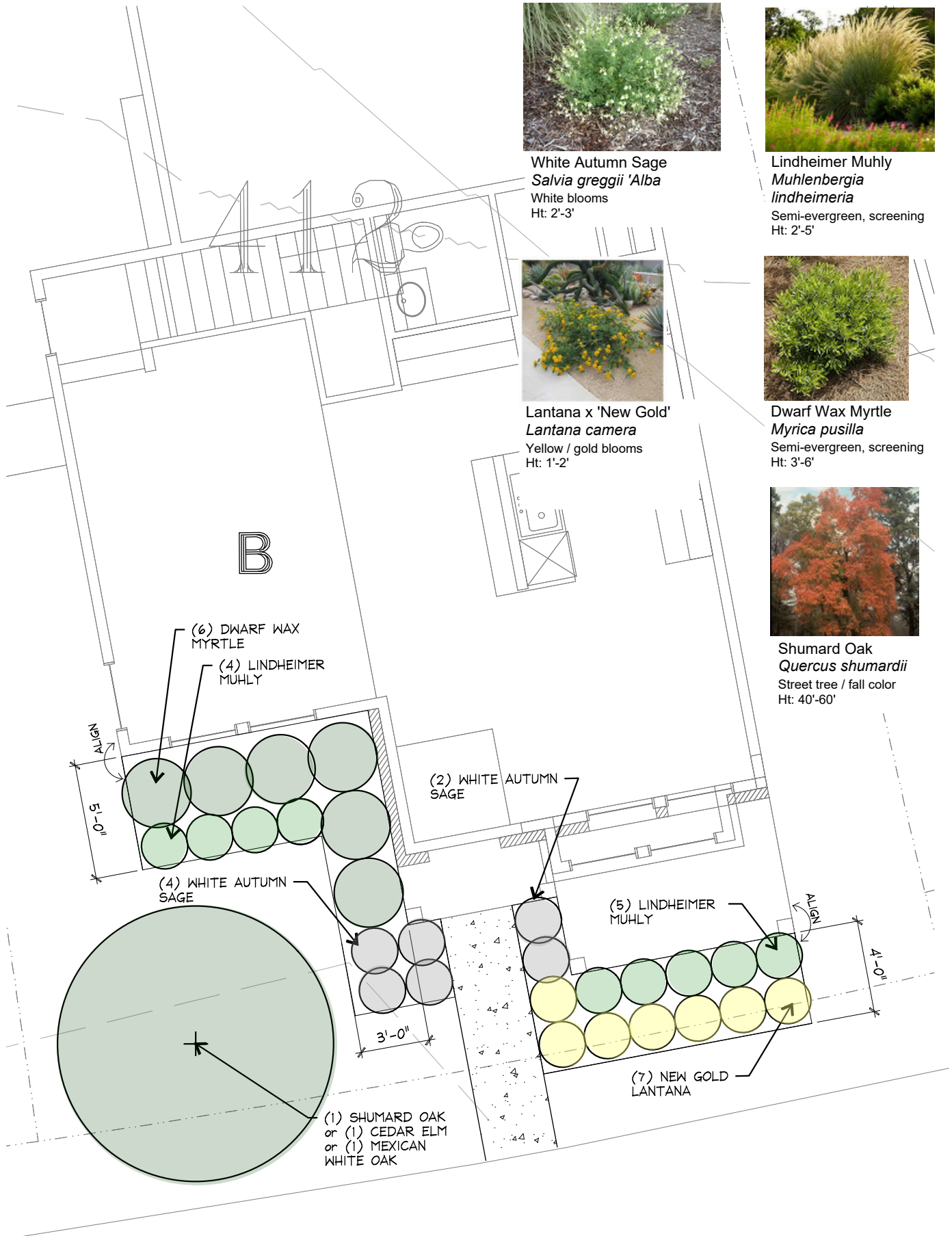
Texas Redbud
Cercis canadensis (var. texensis)
Pink blooms / ornamental tree
Ht: 10'-15'

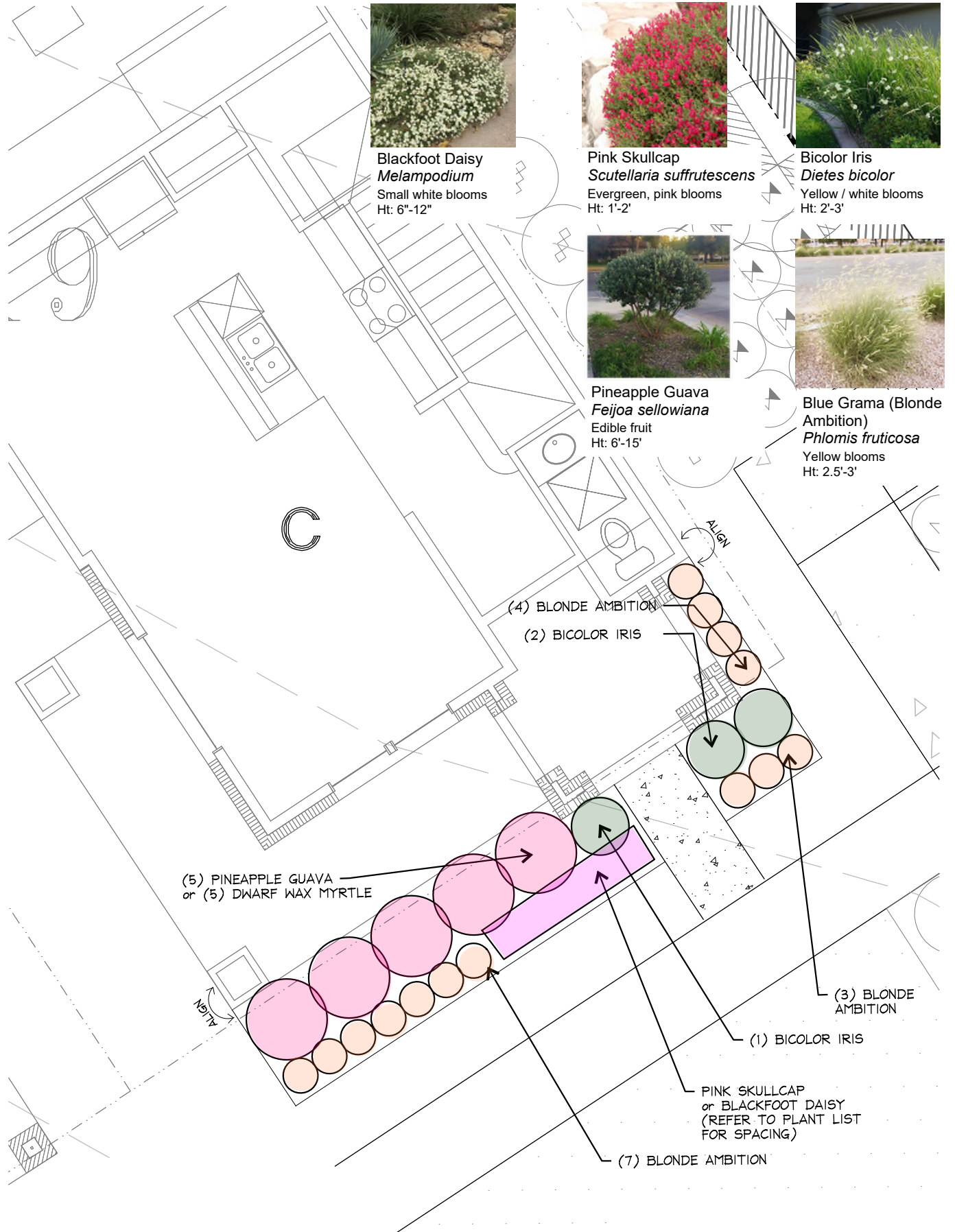


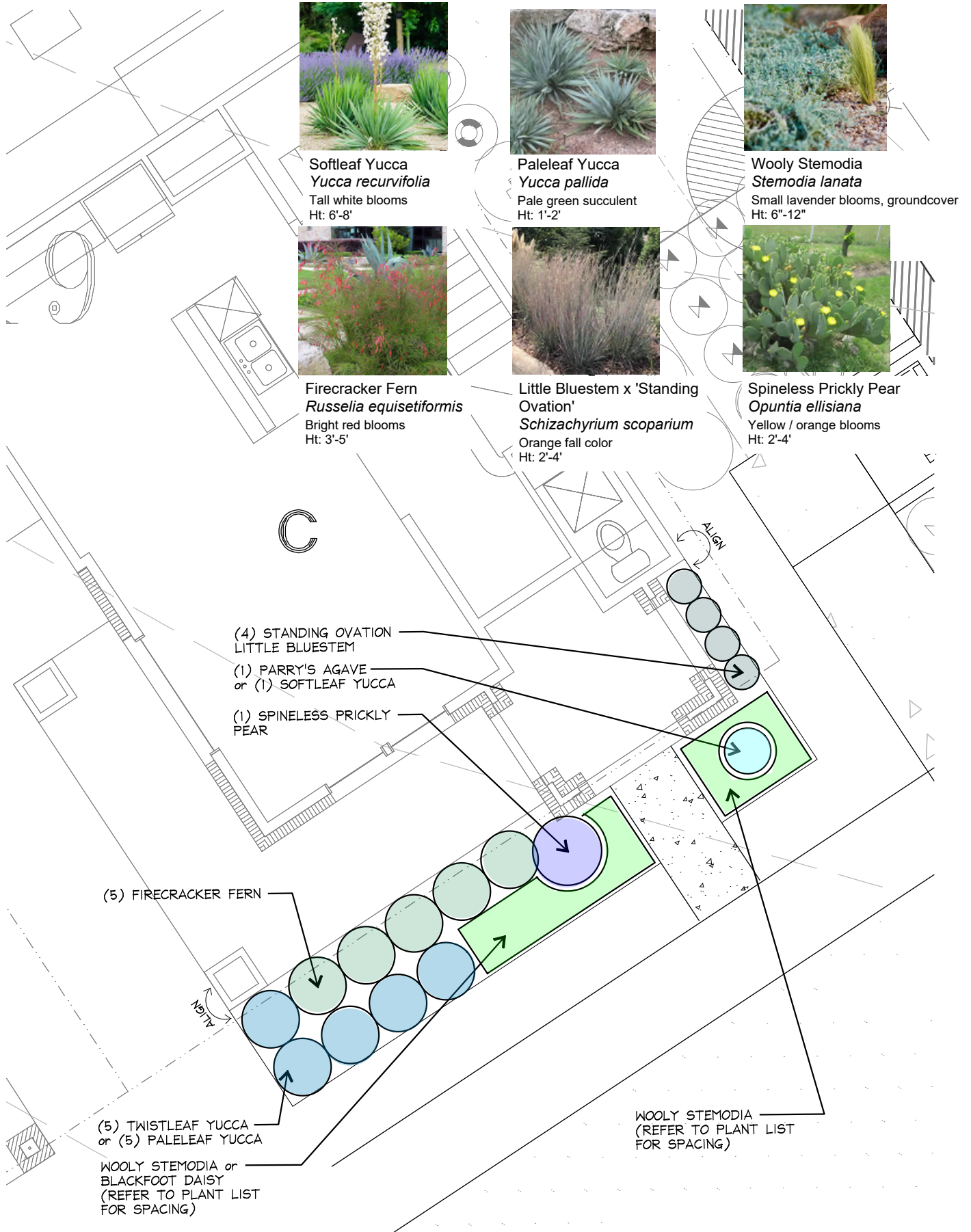
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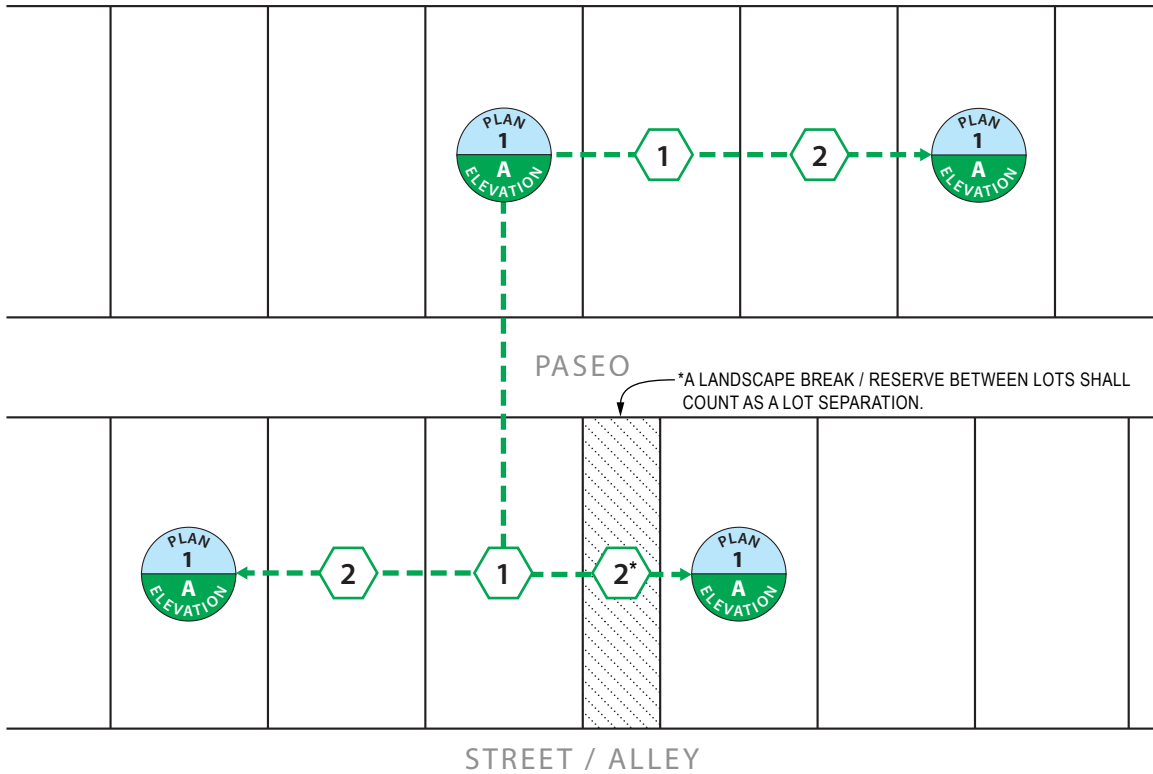






SAME PLAN / SAME ELEVATION

STREET / ALLEY



SAME PLAN / DIFFERENT ELEVATION

STREET / ALLEY

